



PROJECT DIRECTORY

**ARCHITECT:**  
TELEMACHUS STUDIO  
670 MOULTON AVENUE #5  
LOS ANGELES, CA 90031  
P: 323 441 9070

**CIVIL ENGINEER/ SOILS ENGINEER:**  
CALLAND ENGINEERING, INC.  
dba QUARTECH CONSULTANTS  
576 E LAMBERT RD,  
BREA, CA 92821  
P: 714 671 1050

**STRUCTURAL ENGINEER:**  
JAMES TUCHSCHER/ TUCHSCHER  
ENGINEERING GROUP  
130 PINE AVE, 3RD FLOOR  
LONG BEACH, CA 90802  
P: 310 613 9980

**PLUMBING/MECHANICAL ENGINEER:**  
AIRPLUS ENGINEERING  
11517 BURBANK BLVD  
NORTH HOLLYWOOD, CA 91601  
P: 818 980 7583

**ELECTRICAL / SOLAR ENGINEER:**  
ABRARI & ASSOCIATE  
1713 STANDARD AVE.  
GLENDALE, CA 91201  
P: 818 956 1900

**LANDSCAPE ARCHITECT:**  
HARMONY GARDENS, INC.  
12224 ADDISON ST  
VALLEY VILLAGE, CA 91607  
P: 818 505 9783

SHEET INDEX

AA-00	COVER SHEET
AA-01	GENERAL INFORMATION
AA-02	AERIAL MAP
AA-03	NEIGHBORHOOD CONTEXT MONTAGE
AA-04	NORTH & WEST VIEW (EUCLID & MICHIGAN)
AA-05	VIEW FROM EUCLID
AA-06	SOUTH & WEST VIEW
AA-07	NORTH & EAST VIEW (ALLEY& MICHIGAN)
AA-08	SOUTH & EAST VIEW
AA-09	MATERIAL BOARD
AA-10	AREA DIAGRAMS
AA-11	SITE PLAN
AA-12	GARAGE PLAN
AA-13	FIRST FLOOR PLAN
AA-14	SECOND FLOOR PLAN
AA-15	MEZZANINE PLAN
AA-16	NORTH & WEST ELEVATIONS
AA-17	SOUTH & EAST ELEVATIONS
AA-18	SECTIONS
AA-19	SECTIONS
AA-20	SECTIONS

PROJECT DATA

**LEGAL DESCRIPTION:**  
LOT 281 OF TOWNER TERRACE TRACT MAP, IN THE CITY OF SANTA MONICA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 8 PAGE 25 OF MAPS, IN THE OFFICE OF COUNTY RECORDED OF SAID COUNTY.

**ASSESSOR'S PARCEL NO.** (APN): 4283-029-001

**PROJECT DESCRIPTION:**  
NEW CONSTRUCTION OF 6-UNIT CONDOMINIUM. 2-STORY WITH MEZZANINE OVER SUBTERRANEAN STORAGE. UNITS ARE TOWNHOUSE STYLE. 5 MARKET RATE + 1 AFFORDABLE UNITS, 100% PRIVATELY FUNDED.

**SITE ADDRESS:**  
1803 EUCLID ST, SANTA MONICA 90404

**PROPERTY SUMMARY:**  
ZONE R2 LOW DENSITY RESIDENTIAL  
LOT SIZE (SQ.FT.) 9,009 (60'x150')

**EXISTING & DEMOLITION:**  
EXISTING 1,206 SF SINGLE FAMILY HOME, EXISTING 368 SF DETACHED GARAGE AND EXISTING 130 SF STORAGE WILL BE DEMOLISHED. EXISTING SINGLE FAMILY HAS 3 BEDROOMS AND 1 BATH

DENSITY 6-UNITS  
OCCUPANCY R-2 @ LIVING AREA  
S-2 @ PRIVATE & COMMON STORAGES  
(3 HR. REQ. SEPARATION)

CONSTRUCTION TYPE TYPE VB, FULLY SPRINKLERED  
STORIES 2 STORIES W/ MEZZANINE, ABOVE BASEMENT  
HEIGHT LIMIT 30'-0"

OCCUPANCY ANALYSIS:		
OCC	AREA	MAX OCC LOAD
R-2	8,009	8,525 / 200 = 43
S-2	5,316	4,899 / 200 = 25

**PARKING REQUIREMENTS:**  
NO PARKING PER SMMC: 9.28.060

**ACCESSIBILITY**  
PRIVATELY FUNDED MULTIFAMILY TO COMPLY WITH CHAPTER 11A  
ACCESSIBILITY COMPLIANCE APT BUILDING, 3 UNITS OR MORE SEC 1102A.1  
CONDO BUILDING 4 OR MORE UNITS SEC 1102A.1  
MULTI-STORY APT/CONDO WITHOUT ELEVATOR MUST HAVE MIN. 10% OR 1 UNIT ACCESSIBLE PER SEC 1102A.3

**BICYCLE PARKING REQUIREMENTS:**  
REQUIRED LONG TERM = 1 SPACE PER BED ROOM = 14  
REQUIRED SHORT TERM = 10% OR MIN. 2 = 2

BUILDING DATA (SEE SHEET AA-10 FOR DETAILS)

CONSTRUCTION TYPE TYPE VB, FULLY SPRINKLERED  
STORIES 2 STORIES W/ MEZZANINE, ABOVE BASEMENT  
HEIGHT LIMIT 30'-0"

OCCUPANCY ANALYSIS:		
OCC	AREA	MAX OCC LOAD
R-2	8,009	8,525 / 200 = 43
S-2	5,316	4,899 / 200 = 25

BUILDING AREA	
1ST FLOOR	4,193
2ND FLOOR	3,832
MEZZANINE	507
USABLE BASEMENT	394
TOTAL AREA	8,926 ft²

BASEMENT STORAGE AREA	
STORAGE-COMMON	3,022
STORAGE-PRIVATE	1,877
	4,899 ft²

UNIT BREAKDOWN					
UNIT-1	1,659	SF	3BED + 3 BATH	MARKET	
UNIT-2	1,580	SF	3BED + 2.5 BATH	MARKET	
UNIT-3	1,578	SF	3BED + 2.5 BATH	MARKET	
UNIT-4	1,589	SF	3BED + 2.5 BATH	MARKET	
UNIT-5	920	SF	2BED + 2.5 BATH	AFFORDABLE	
UNIT-6	1,600	SF	3BED + 3 BATH	MARKET	
	8,926 ft²		17BED, 14 FULL BATH,		
			4 HALF BATH		









EUCLID AVE EAST

S →



EUCLID AVE WEST

W →



MICHIGAN AVE SOUTH

W →





North & West View (Euclid & Michigan)





View from Euclid Street





South & West View





North & East View





Alley View

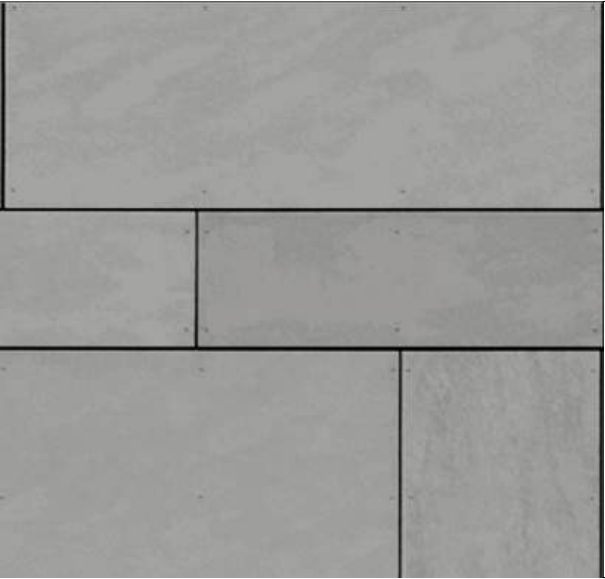




**EXPOSED CONCRETE:**  
SITE CAST CONCRETE WALL, CONC. NATURAL COLOR



**STUCCO:**  
CBF, MEDIUM GREY COLOR



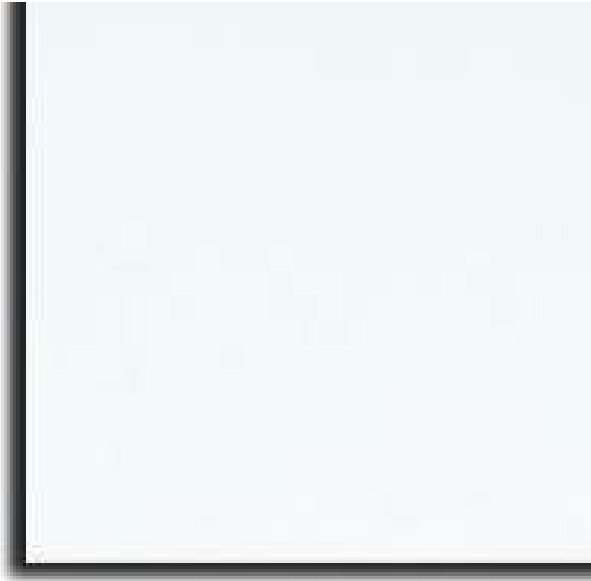
**CEMENT BOARD:**  
SMOOTH FINISH, MEDIUM GREY



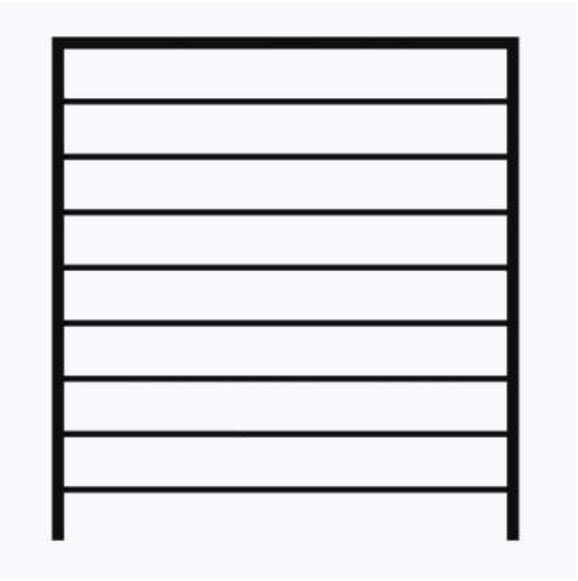
**WOOD SIDING:**  
RESYSTA, AGED TEAK COLOR



**DOOR / WINDOW FRAME:**  
BLACK ANODIZED ALUMINUM

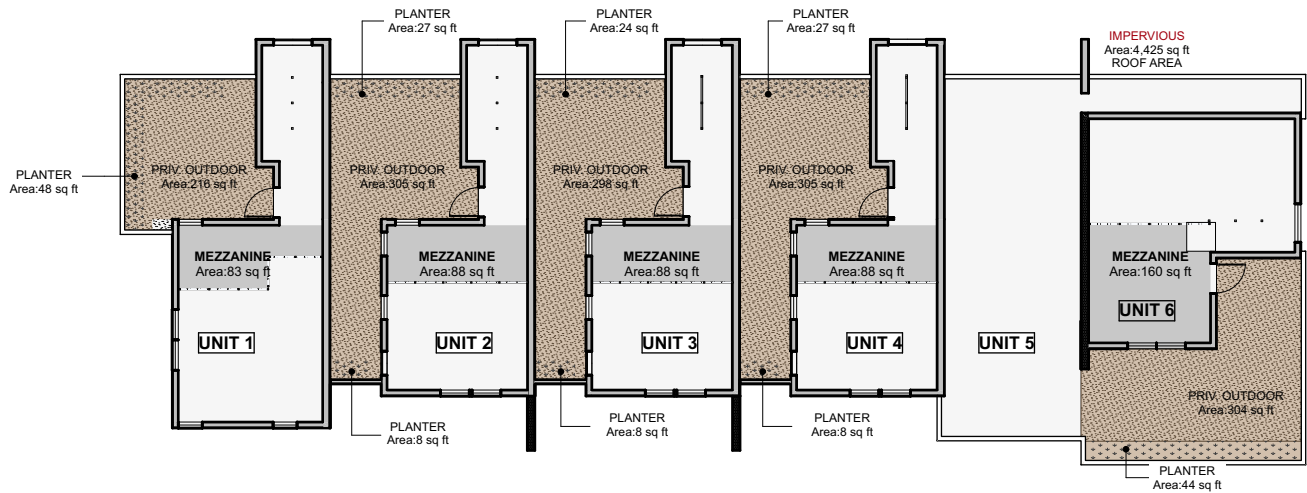


**GLASS:**  
CLEAR-TRANSPARENT



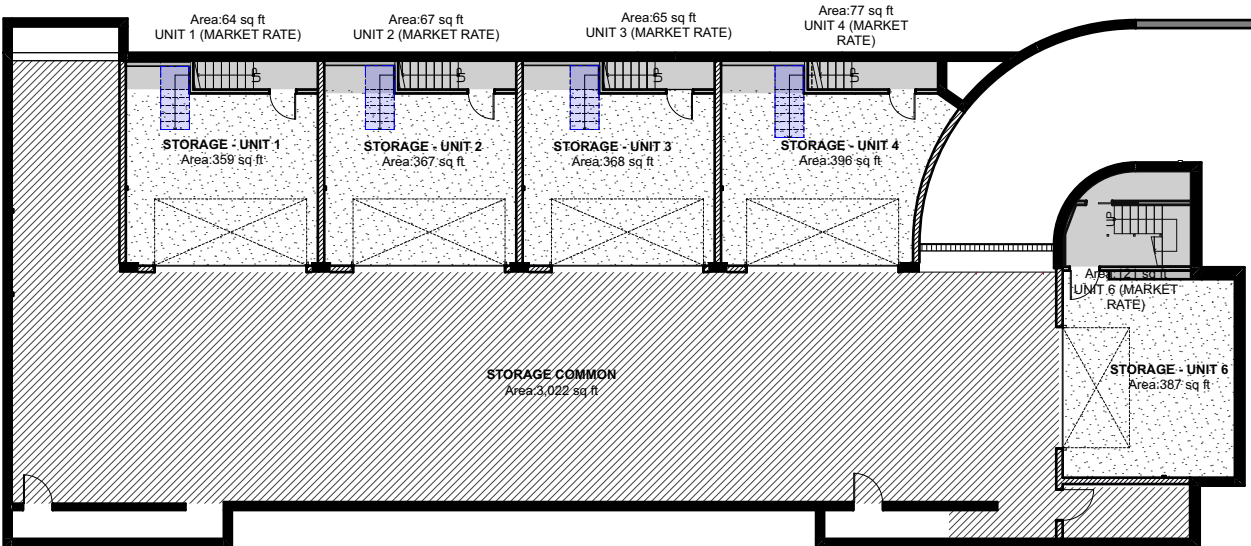
**GUARDRAIL:**  
STEEL, PAINTED BLACK





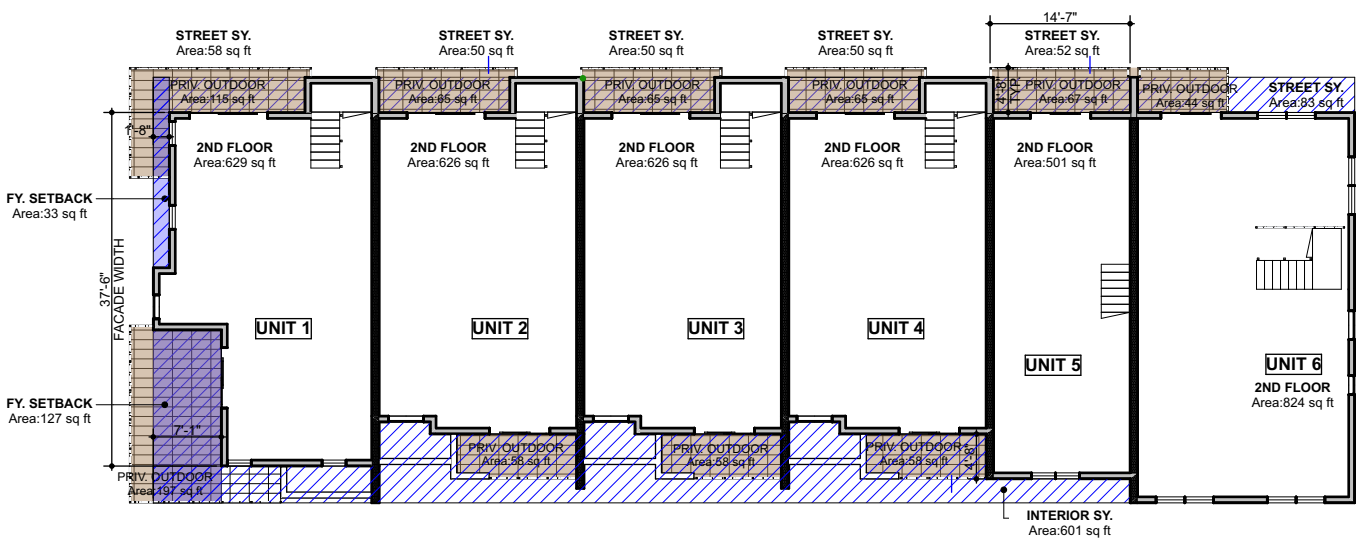
MEZZANINE/ROOF AREA

SCALE: 1" = 20'



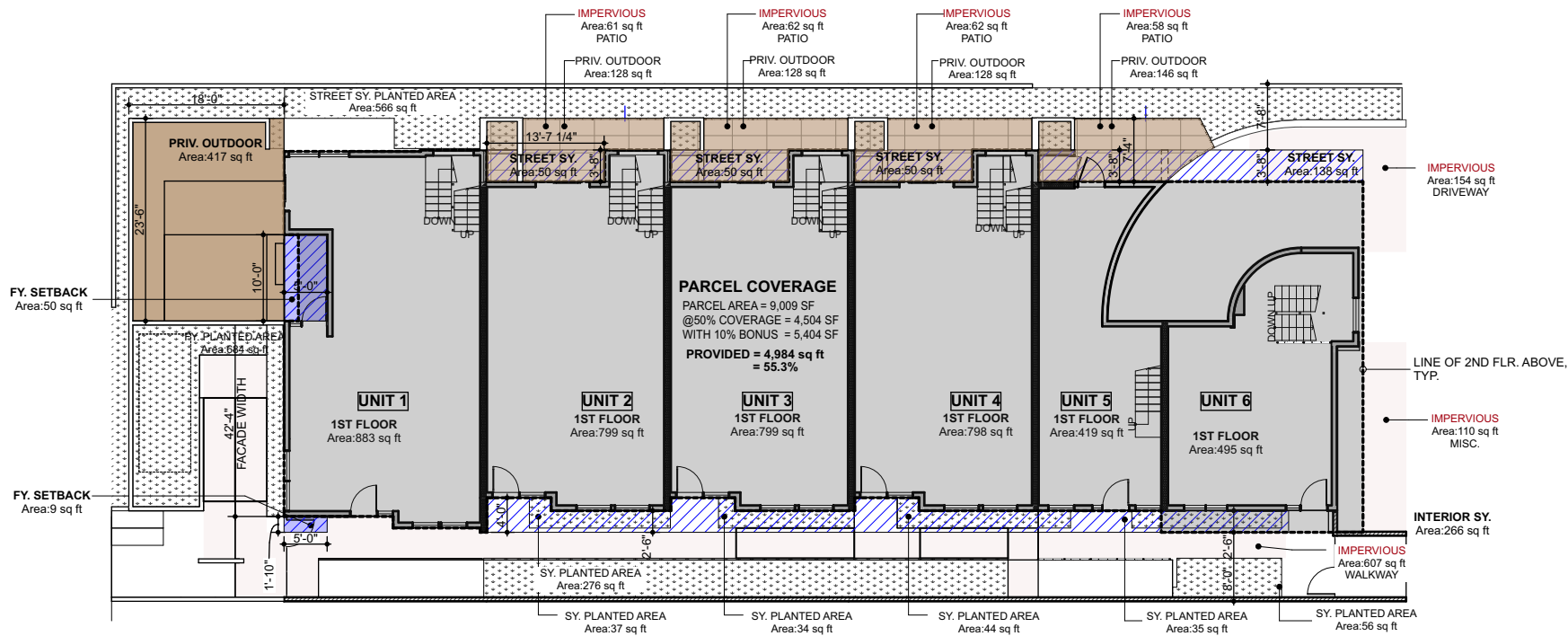
BASEMENT AREA

SCALE: 1" = 20'



SECOND FLOOR AREA

SCALE: 1" = 20'



FIRST FLOOR AREA

SCALE: 1" = 20'

OPEN SPACE AREA CALCULATION				
USE	LOCATION	TYPE	LEVEL	AREA (SF)
PRIVATE	UNIT 1	PRIV. OUTDOOR	1	417
		PRIV. OUTDOOR	2	312
		PRIV. OUTDOOR	3	216
				945 ft²
	UNIT 2	PRIV. OUTDOOR	1	128
		PRIV. OUTDOOR	2	123
		PRIV. OUTDOOR	3	305
				556 ft²
	UNIT 3	PRIV. OUTDOOR	1	128
		PRIV. OUTDOOR	2	123
		PRIV. OUTDOOR	3	298
				549 ft²
	UNIT 4	PRIV. OUTDOOR	1	128
		PRIV. OUTDOOR	2	123
		PRIV. OUTDOOR	3	305
				556 ft²
	UNIT 5	PRIV. OUTDOOR	1	146
		PRIV. OUTDOOR	2	67
				213 ft²
	UNIT 6	PRIV. OUTDOOR	2	44
		PRIV. OUTDOOR	3	304
				348 ft²
				3,167 ft²
SMMC 9.21.099: YARDS, DECKS, PATIOS SHALL BE NO LESS THAN 4" DEEP				
LANDSCAPE AREA CALCULATION				
FRONT YARD LANDSCAPE				
		FY. PLANTED AREA		684
				684 ft²
INTERIOR SIDE YARD LANDSCAPE				
		SY. PLANTED AREA		482
				482 ft²
ROOF DECK				
		PLANTER		194
				194 ft²
STREET SIDE YARD LANDSCAPE				
		STREET SY. PLANTED AREA		566
				566 ft²
				1,926 ft²

TOTAL FRONT YARD AREA: 60' X 20' = 1200 SF  
PLANTED AREA: 684 SF (57%)

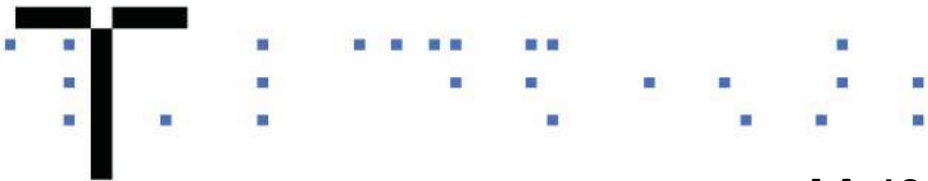
TOTAL INTERIOR SIDE YARD: 125' X 8' = 1000 SF  
REQUIRED PLANTING AREA = 500 SF (50%)  
PROVIDED PLANTED AREA: 526 SF (52.6%)

TOTAL STREET SIDE YARD: 125' X 7.66' = 957.5 SF  
PLANTED AREA: 566 SF (59.1%)

ALL NON-WALK, NON-DRIVE AREAS REQUIRED  
TO BE LANDSCAPED

TOTAL LANDSCAPE AREA REQUIRED: 30% X 9,009 SF = 2,703 SF  
TOTAL LANDSCAPE AREA PROVIDED: 1,970 SF (21.8%)

USABLE FLOOR AREA (PER SMMC 9.04.080)				
UNIT 1 (MARKET RATE)				
	1ST FLOOR	883	<b>9.04.080 Determining Floor Area</b> The floor area of a building is the total gross horizontal areas of all floors of a building, including usable basements and all other areas measured from the interior face of the exterior walls or, in the case of a shared wall, from the centerline of a wall separating the 2 buildings. Floor area also includes unenclosed decks, balconies, porches, and platforms used for commercial or restaurant activity. In addition to calculating floor area ratio, floor area shall be used to determine parking requirements and all relevant impact fees, including, but not limited to, affordable housing fees, transportation impact fees, childcare linkage fees, cultural arts fees, and parks and recreation fees.	
	2ND FLOOR	629		
	MEZZANINE	83		
	USABLE BASEMENT	64		
		<b>1,659 ft²</b>		
UNIT 2 (MARKET RATE)				
	1ST FLOOR	799		
	2ND FLOOR	626		
	MEZZANINE	88		
	USABLE BASEMENT	67		
		<b>1,580 ft²</b>		
UNIT 3 (MARKET RATE)				
	1ST FLOOR	799		
	2ND FLOOR	626		
	MEZZANINE	88		
	USABLE BASEMENT	65		
		<b>1,578 ft²</b>		
UNIT 4 (MARKET RATE)				
	1ST FLOOR	798		
	2ND FLOOR	626		
	MEZZANINE	88		
	USABLE BASEMENT	77		
		<b>1,589 ft²</b>		
UNIT 5 (AFFORDABLE)				
	1ST FLOOR	419		
	2ND FLOOR	501		
		<b>920 ft²</b>		
UNIT 6 (MARKET RATE)				
	1ST FLOOR	495		
	2ND FLOOR	824		
	MEZZANINE	160		
	USABLE BASEMENT	121		
		<b>1,600 ft²</b>		
		<b>8,926 ft²</b>		
BASEMENT STORAGE				
TYPE		AREA (SF)	NOTES	
COMMON		3,022	COMMON STORAGE	
UNIT 1		359	PRIVATE STORAGE	
UNIT 2		367	PRIVATE STORAGE	
UNIT 3		368	PRIVATE STORAGE	
UNIT 4		396	PRIVATE STORAGE	
UNIT 6		387	PRIVATE STORAGE	
		<b>4,899 ft²</b>		
ADDITIONAL SETBACK AREA PROVIDED (BLUE FILL)				
1ST FLOOR		PROVIDED	REQUIRED	
	FY. SETBACK	59	ADDITIONAL 5', MIN. 25% FACADE=42.33'X25'X5'=533SF	
	INTERIOR SY.	266	ADDITIONAL 2' AVG. SET BACK=125'X2'=250SF	
	STREET SY.	288	ADDITIONAL 2' AVG. SET BACK=125'X2'=250SF	
2ND FLOOR				
	FY. SETBACK	160	ADDITIONAL 5', MIN. 25% FACADE=37.5'X25'X5'=475SF	
	INTERIOR SY.	601	ADDITIONAL 2' AVG. SET BACK=125'X2'=250SF	
	STREET SY.	343	ADDITIONAL 2' AVG. SET BACK=125'X2'=250SF	

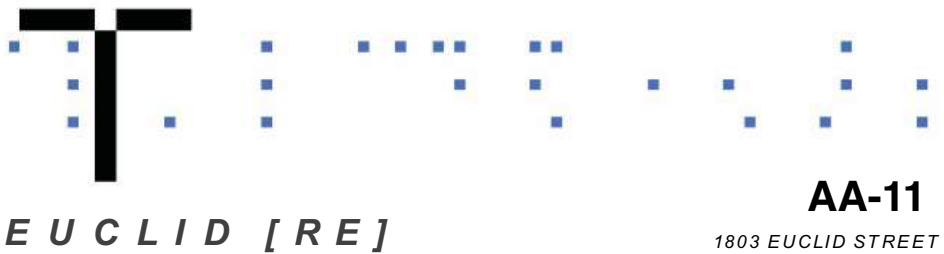


EUCLID [RE]

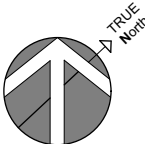
AA-10

1803 EUCLID STREET





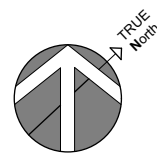
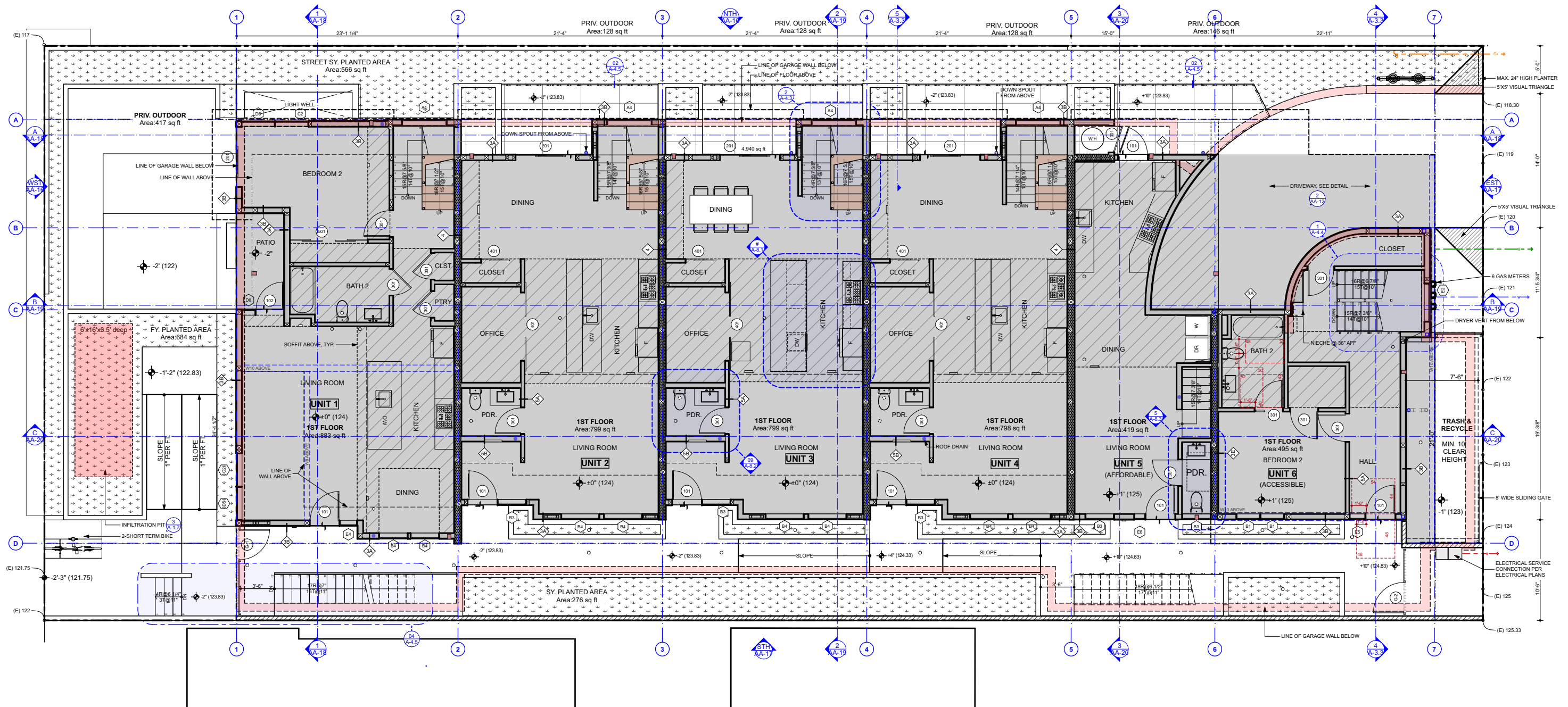



$$3/32'' = 1'-0''$$

***E U C L I D [ R E ]***

1803 EUCLID STREET

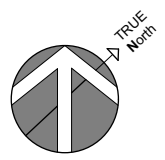
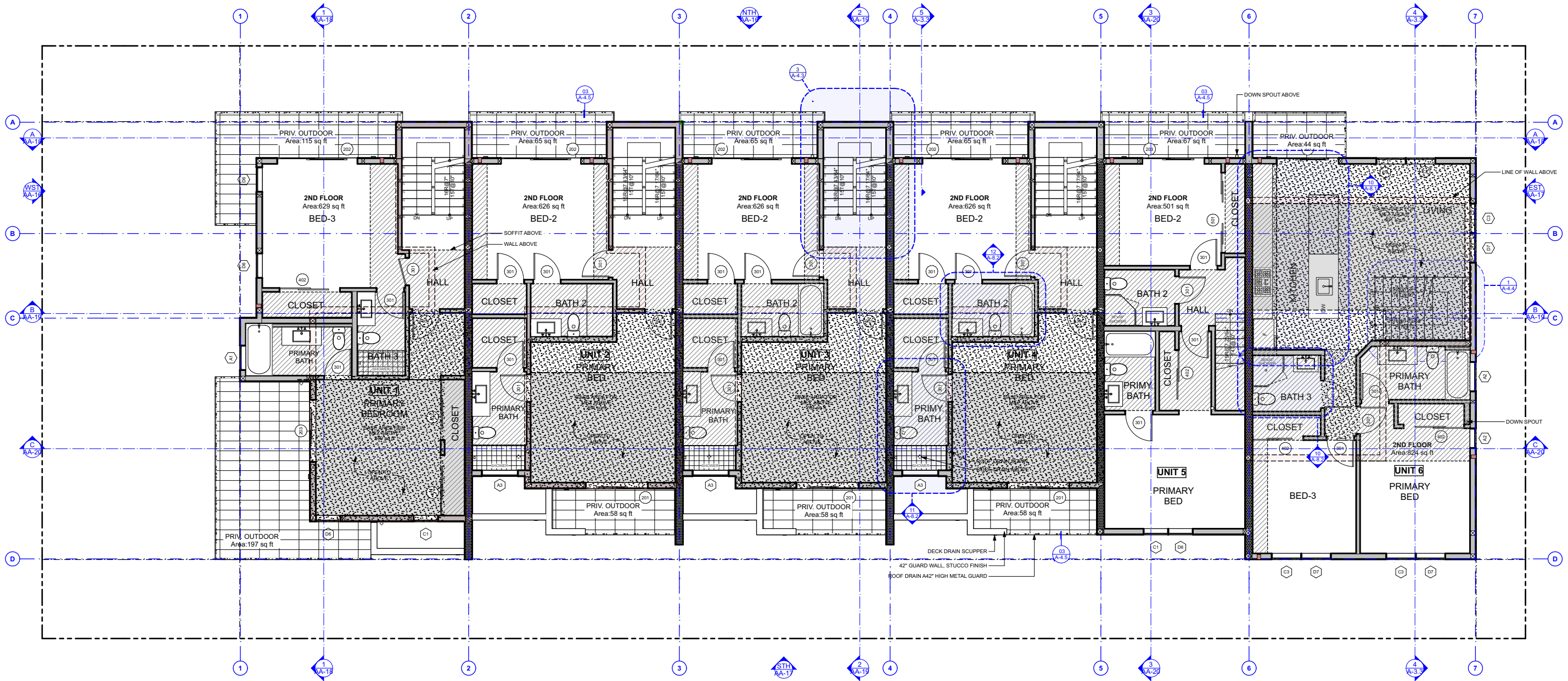




# FIRST FLOOR PLAN

3/32" = 1'-0"





# SECOND FLOOR PLAN

3/32" = 1'-0"

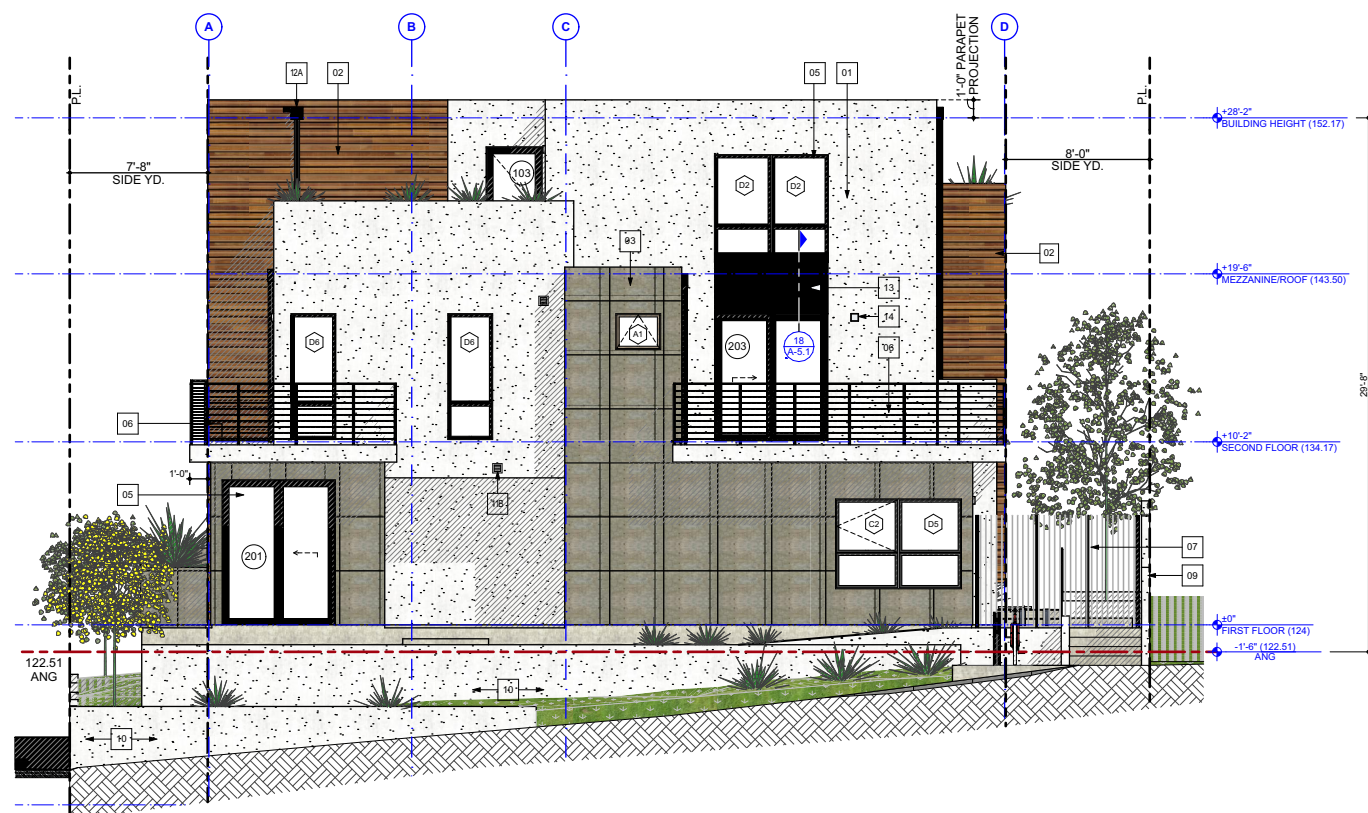








NORTH ELEVATION (MICHIGAN) SCALE: 3/32" = 1'-0"



WEST ELEVATION (EUCLID) SCALE: 3/32" = 1'-0"

#### ELEVATION KEYNOTES

- 01 EXTERIOR STUCCO SMOOTH TROWELED FINISH, WHITE COLOR
- 02 RESYSTA SIDING, TEAK COLOR
- 03 CEMENT BOARD SIDING, MEDIUM GREY
- 04 CONCRETE WALL, NATURAL CONCRETE FINISH
- 05 ALUMINUM DOOR/ WINDOW, BLACK ANODIZED
- 06 42" HIGH GUARD RAIL, STEEL FRAME WITH HORIZONTAL STEEL RODS, PAINTED BLACK
- 07 6'-0" HIGH METAL FENCE/ GATE PAINTED BLACK
- 09 0" HIGH CMU SITE WALL, STUCCO FINISH, 42" HIGH AT FRONT AND STREET SIDE YARD
- 10 42" HIGH CMU PLANTER WALL
- 11A DRYER VENT
- 11B BATH OR KITCHEN EXHAUST OR OTHER VENT
- 12A 4" DIA DOWN SPOUT CONNECTS TO A 5"X5"X5" RAIN LEADER. OVER FLOW DRAIN AS SHOW IN DETAIL. BONDERIZED SHEET METAL, BLACK
- 13 DERIZED SHEET METAL COVER TO MATCH WINDOW FRAME
- 14 WALL SCONCE



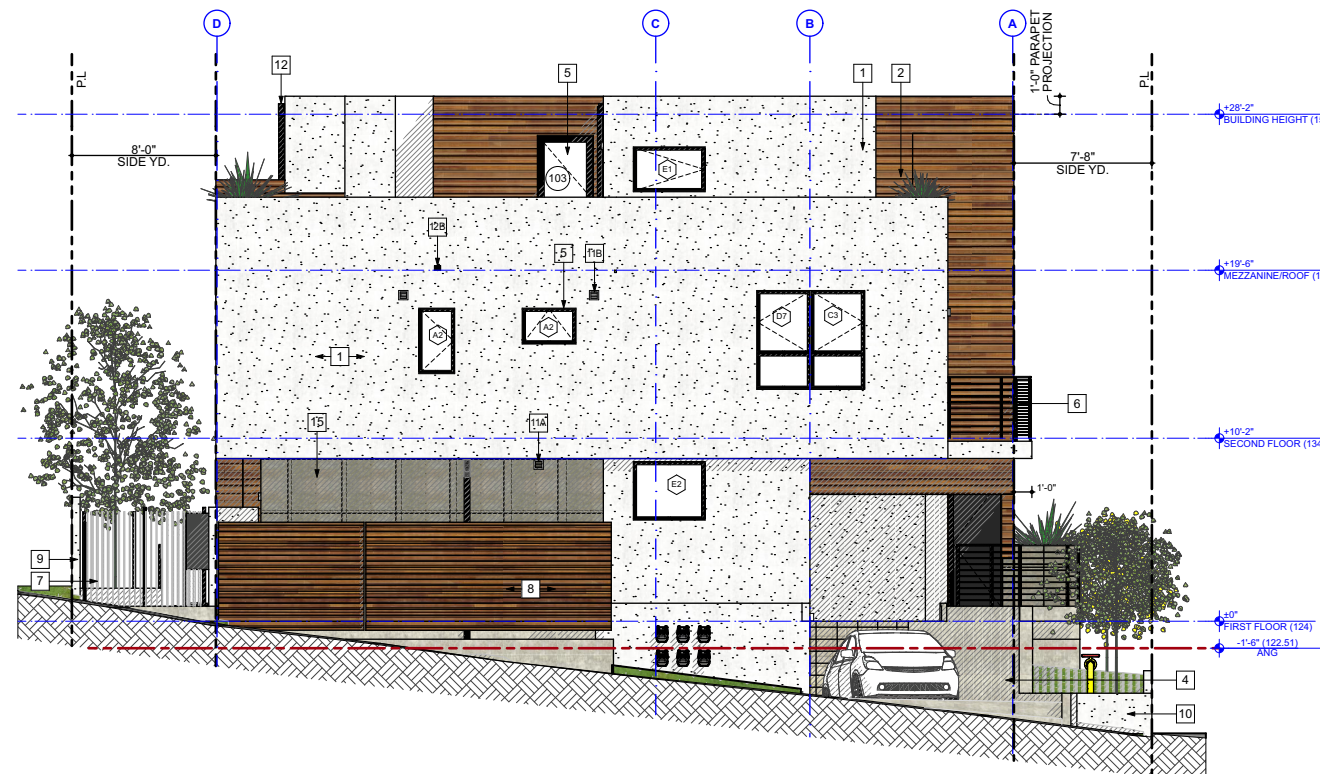


SOUTH ELEVATION

SCALE: 3/32" = 1'-0"

#### ELEVATION KEYNOTES

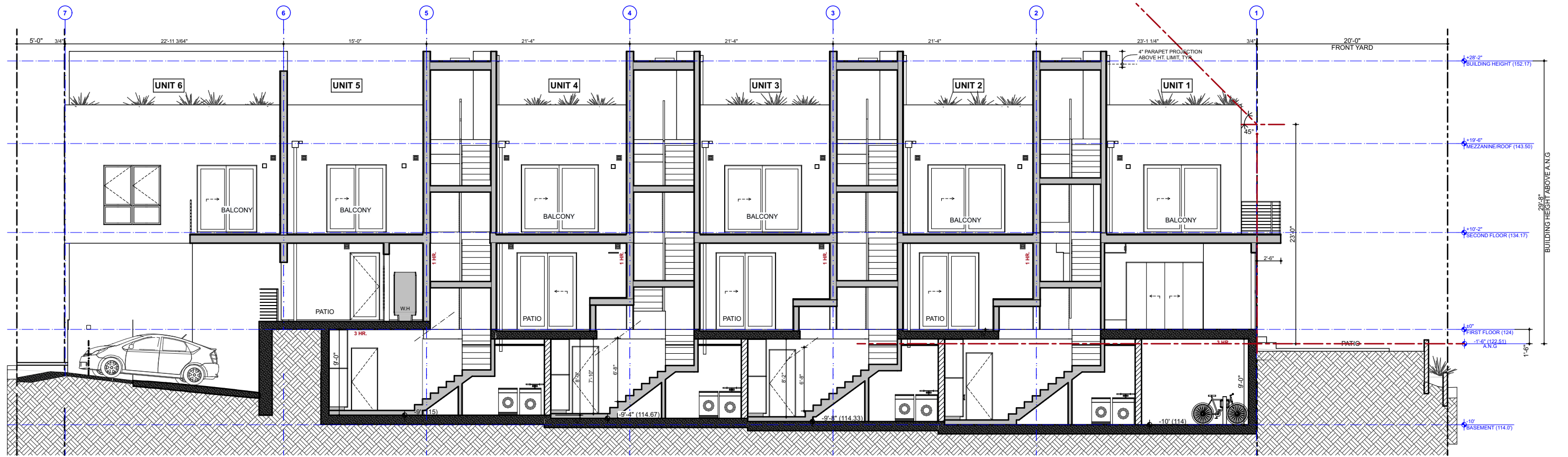
- 01 EXTERIOR STUCCO SMOOTH TROWELED FINISH, WHITE COLOR
- 02 RESYSTA SIDING, TEAK COLOR
- 03 CEMENT BOARD SIDING, MEDIUM GREY
- 05 ALUMINUM DOOR/ WINDOW, BLACK ANODIZED
- 08
- 12A 4" DIA DOWN SPOUT CONNECTS TO A 5"X5"X5" RAIN LEADER. OVER FLOW DRAIN AS SHOW IN DETAIL. BONDERIZED SHEET METAL, BLACK
- 12B 4"X4" OVERFLOW SCUPPER
- 13 DERIZED SHEET METAL COVER TO MATCH WINDOW FRAME
- 14 WALL SCONCE



EAST ELEVATION (ALLEY)

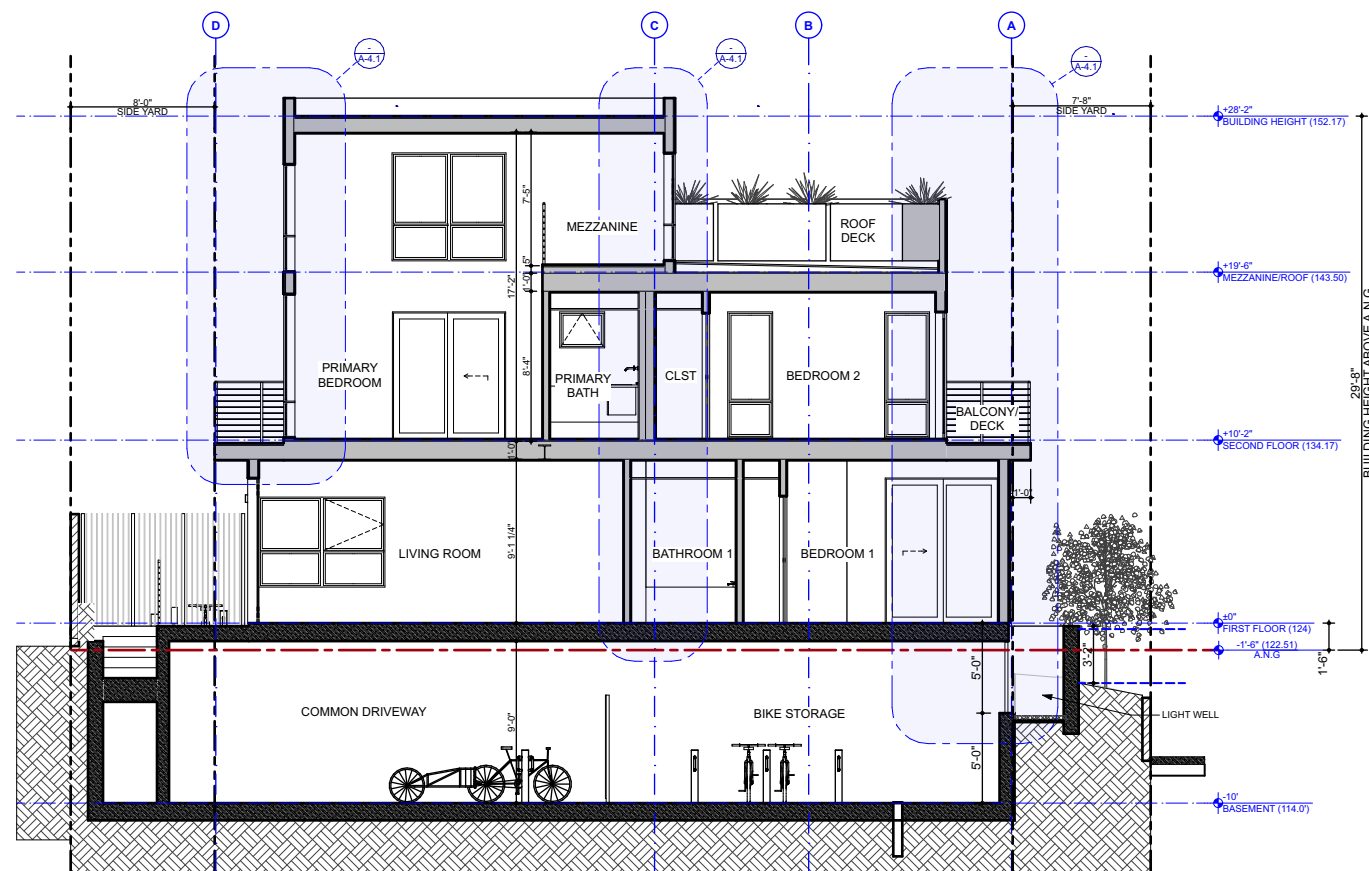
SCALE: 3/32" = 1'-0"





SECTION A

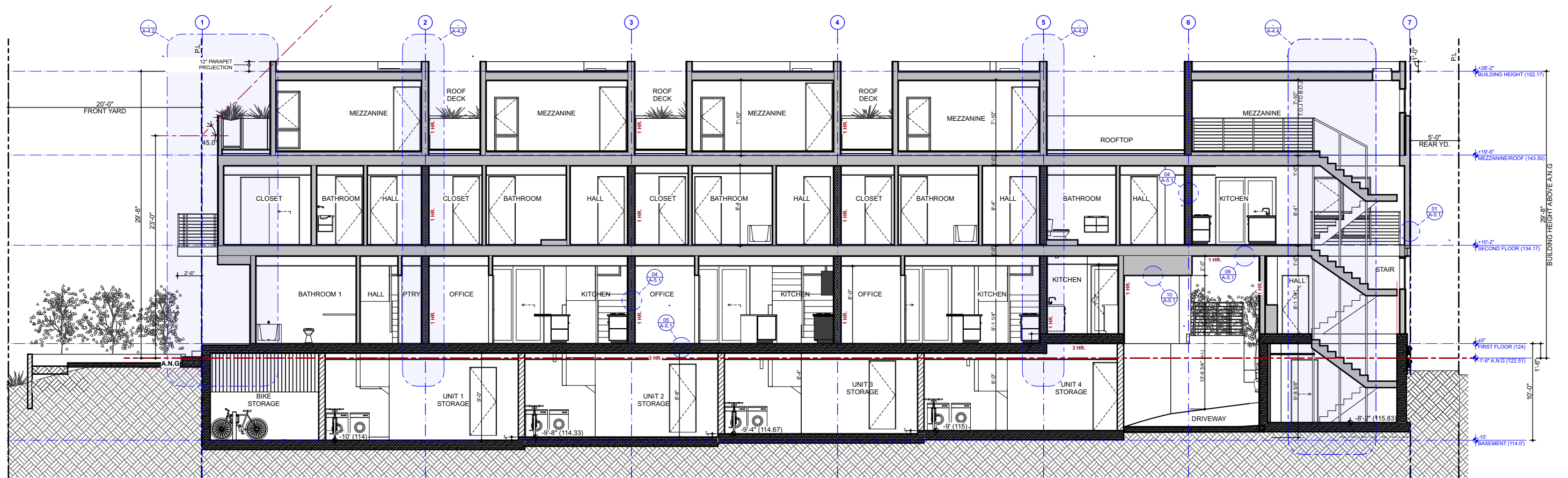
SCALE: 3/32" = 1'-0"



SECTION 1

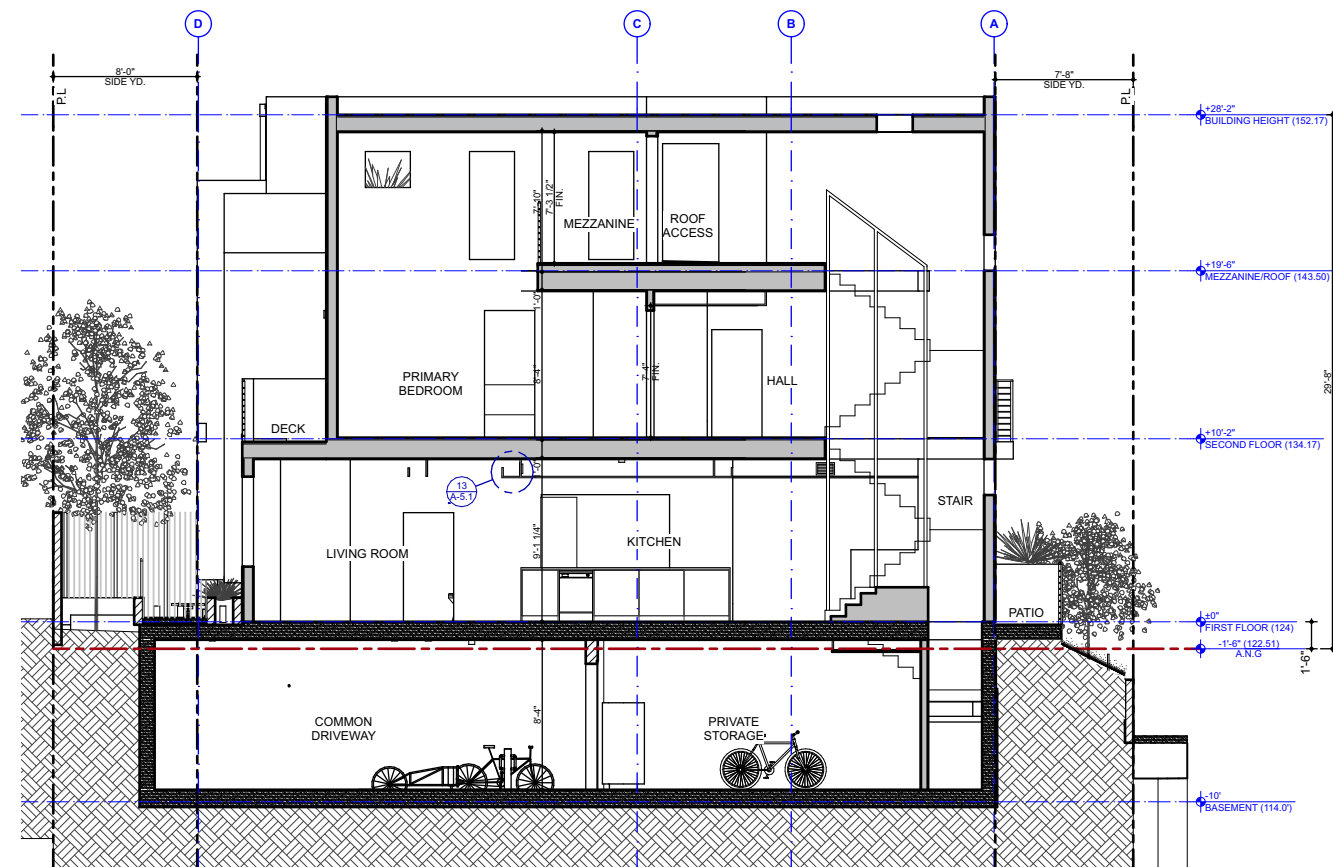
SCALE: 3/32" = 1'-0"





SECTION B

SCALE: 3/32" = 1'-0"



SECTION 2

SCALE: 3/32" = 1'-0"



